



The Corporation of the Town of Tecumseh

Development Services

To: Mayor and Members of Council

From: Brian Hillman, Director Development Services

Date to Council: Tuesday, April 28, 2026

Report Number: DS-2026-10

Subject: Draft New Zoning By-law - Summary of Comments Received at Public Meeting 1, Review of Proposed Changes and Council Direction for Public Meeting 2
OUR FILE: D19 NEWZB

Recommendations

It is recommended:

That Report DS-2026-10 Draft New Zoning By-law - Summary of Comments Received at Public Meeting 1, Review of Proposed Changes and Council Direction for Public Meeting 2 **be received**;

And that the scheduling of a second Public Meeting, to be held on May 26, 2026 at 7:00 p.m., in accordance with the *Planning Act*, for the proposed draft new Zoning By-law, **be authorized**;

And further that Council select ONE of the following Options with respect to regulating the parking and storage of recreational vehicles/trailers, as detailed in Report DS-2026-10;

- **Option 1** - Regulate the parking and storage of recreational vehicles/trailers by length and height as detailed by Option 1 in Attachment 2, DS-2026-10; or
- **Option 2** - Regulate the parking and storage of recreational vehicles/trailers by distance from a curb/sidewalk as detailed by Option 2 in Attachment 2, DS-2026-10;

And furthermore that Council give direction to Administration to incorporate the revisions detailed in Attachment 1 of DS-2026-10, along with either Option 1 or Option 2 with respect to regulating the parking and storage of recreational vehicles/trailers, into the second draft of the new Zoning By-law.

Background

Following Council's receipt of Report [DS-2025-27](#), WSP and Administration finalized the first draft of the proposed new Zoning By-law for presentation to Council at the January 27, 2026 Special Council Meeting. On January 28, 2026, the draft document was made available for agency and public review. An Open House was then held on February 26, 2026 followed by a statutory Public Meeting on March 24, 2026. These consultation events provided residents, stakeholders and agencies the opportunity to review, ask questions and provide comments with respect to the first draft of the new Zoning By-law.

The Open House was attended by 118 residents and other stakeholders while 34 residents attended the Public Meeting in-person, with additional residents "attending" virtually. Eight delegations provided verbal comments with another six stakeholders submitting written correspondence. Through this consultation, the following matters were raised with respect to the draft new Zoning By-law:

- Lodging House permissions
- Recreational vehicle/tailer parking and storage in residential areas
- Public consultation process
- Short-term rental accommodations
- Permitted uses and lot area/lot frontage provisions for low density residential zones
- Lake St. Clair sightline provisions
- The growing and production of cannabis

Comments

In response to the comments received through the public consultation process, WSP has prepared a comments matrix (see Attachment 1) that organizes the comments into themes and provides a response to each comment along with recommended changes to be incorporated into draft 2 of the proposed new Zoning By-law.

In addition, WSP and Administration are proposing two options for Council's consideration and direction regarding the regulation of parking and storage of recreational vehicles/trailers in residential areas. These two regulatory approaches are described in detail in Attachment 2. One approach focuses on regulating by size while the other focuses on regulating through setback distance from roadways and sidewalks.

Matthew Rodrigues of WSP will attend the April 28, 2026, Council Meeting to review the comments matrix and corresponding recommendations as well as the recreational vehicle/trailer parking and storage regulation options. To assist in this regard, WSP has prepared a PowerPoint presentation (see Attachment 3).

Next Steps

Once Council direction is given related to the aforementioned items, revisions will be made and the updated draft Zoning By-law document (Version No. 2) will be placed on the Town's municipal website by early May of 2026 to offer the public the opportunity to review in advance of a second public meeting.

Administration is recommending that Council authorize the scheduling of a second Public Meeting to consider the proposed changes identified in this Report. If supported by Council, Public Meeting 2 is proposed to be held on May 26, 2026 at 7:00 p.m. in the Council Chambers at Tecumseh Town Hall. After Public Meeting 2, any necessary revisions to the draft new Zoning By-law will be made and a final follow-up report will be provided to Council for consideration of adoption of the new Zoning By-law, as revised.

Consultations

WSP Canada Inc.

Financial Implications

None.

Link to Strategic Priorities

Applicable	2023-2026 Strategic Priorities
<input checked="" type="checkbox"/>	Sustainable Growth: Achieve prosperity and a livable community through sustainable growth.
<input checked="" type="checkbox"/>	Community Health and Inclusion: Integrate community health and inclusion into our places and spaces and everything we do.
<input type="checkbox"/>	Service Experience: Enhance the experience of Team Tecumseh and our citizens through responsive and respectful service.

Communications

Not applicable

Website

Social Media

News Release

Local Newspaper

This report has been reviewed by Senior Administration as indicated below and recommended for submission by the Chief Administrative Officer.

Prepared by:

Enrico DeCecco, BA (Hons), MCIP, RPP
Senior Planner

Reviewed by:

Chad Jeffery, MA, MCIP, RPP
Manager Planning Services & Local Economic Development

Reviewed by:

Brian Hillman, MA, MCIP, RPP
Director Development Services

Recommended by:

Margaret Misek-Evans, MCIP, RPP
Chief Administrative Officer

Attachment Number	Attachment Name
1.	Comment Response Matrix
2.	RV Zoning Regulation Options
3.	WSP Presentation

Town of Tecumseh – New Zoning By-law Project

Comment-Response Summary – April 2026

Attachment 1, DS-2026-10 Comment-Response Matrix

General Comments

The following provides a summary of general comment themes received at and following the Public Open House (February 26, 2026) and Statutory Public Meeting (March 24, 2026) and responses from the Project Team.

Comment Theme	Project Team Response
<p>Lodging House Permissions</p>	<p>The Draft Zoning By-law proposed to allow lodging houses as a permitted uses in Residential zones as a form of housing that fills a gap in the provision of housing as it tends to be a more affordable option than other options in the private market. A lodging house is defined in the By-law to mean “a dwelling where five or more persons, not including a resident owner of the property, may rent a unit and where the kitchen and other areas of the dwelling are shared amongst the persons occupying the dwelling.</p> <p>Feedback received expressed concerns about these expanded lodging house permissions. Issues raised included property maintenance, licensing matters, public safety, parking and traffic, noise and nuisance, neighbourhood change, and the number of persons in a dwelling.</p> <p>Recommended Direction</p> <p>In response to the comments received, the Project Team is recommending that lodging houses be removed as a permitted use in Residential zones and that the definition of a lodging house remain in the By-law to guide the review of site-specific planning applications should they be received by the Town. Following completion of the Zoning By-law, it is further recommended that Town staff undertake a comprehensive Lodging House Study that would explore this topic in greater detail, consult the community, and include the development of a municipal licensing framework for lodging houses alongside zoning.</p> <p>In the interim, this revised approach to removing lodging house permissions as-of-right in Residential zones would require any new lodging house to come forward through a site-specific application.</p>
<p>Recreational Vehicle Parking Requirements</p>	<p>The Draft Zoning By-law proposed new harmonized regulations for the parking of recreational vehicles and trailers (RV parking) in Residential zones. This issue was first explored as part of the Issues and Methodology Report based on early feedback received from the community. Each of the current zoning by-laws regulates RV parking differently today. The new Zoning By-law is an opportunity to harmonize regulations across the Town.</p> <p>Feedback received was primarily related to restrictions on RV parking in the front yard, including those opposed to regulations and those in support of regulations. Issues raised included the proposed maximum height and length of RVs, how existing RVs would be</p>

Comment Theme	Project Team Response
	<p>treated (i.e., “grandfathered”) under new zoning regulations, the proposed setback requirements for RVs, safety and sightline considerations, neighbourhood aesthetics, temporary RV parking on a driveway, and recognizing the current regulations for RV parking across the Town.</p> <p>Recommended Direction</p> <p>In response to the comments received, the Project Team has developed two new options for Council consideration to address RV parking. These options are detailed in Attachment 2. Following further consultation, updated regulations for RV parking will be included in the Final Draft Zoning By-law.</p>
<p>Public Consultation Process</p>	<p>Concerns were raised regarding the public consultation process and how the Zoning By-law would consider public input.</p> <p>The Draft Zoning By-law has been prepared through an iterative and extensive public consultation process. The Project began with two in-person Public Open Houses, held in each of Phases 1 and 2 to help inform the issues, options, and recommendations to be addressed.</p> <p>Following a Town Council meeting to release the Draft Zoning By-law and seek authorization to undertake public consultation (January 27, 2026), a Public Open House was held on February 26, 2026 as the first opportunity for the community to learn more about the proposed draft by-law and asks questions of the Project Team. Over the five one-hour sessions, 151 people attended and had the opportunity to discuss their issues with and ask questions of the Project Team. In addition, comment sheets were provided for all in attendance. Registration was required to evenly distribute attendance over the five one-hour session, rather than having all residents attend at the same time. This afforded more meaningful and intimate discussions between the Project Team and attendees. All requests to attend were accommodated. No resident seeking to attend was denied the ability to participate. This Draft Zoning By-law was then presented to Council on March 24, 2026 at a formal Statutory Public Meeting in accordance with the <i>Planning Act</i> to receive comments from the public.</p> <p>After that meeting, this comment-response matrix has been prepared to respond to comments received. Considering the comments received, the Project Team has opted to present an update to Town Council on April 28, 2026 on how the Final Draft Zoning By-law will respond directly to comments received, and to seek specific Council direction on outstanding matters, where necessary. Following this update, the Final Draft Zoning By-law will be presented at a second Public Meeting, after which final revisions will be made before bringing the Zoning By-law forward to a subsequent meeting for Council adoption. This iterative process, which will include four formal touchpoints with Council, will demonstrate how the regulations have evolved based on feedback and be accompanied by the Project Team’s responses.</p>

Comment Theme	Project Team Response
<p>Short-Term Rental Accommodations (STRAs)</p>	<p>Questions and concerns were raised about the proposed short-term rental accommodation regulations in the Draft Zoning By-law, and how they were determined.</p> <p>The Draft Zoning By-law proposes to permit short-term rental accommodations (such as Airbnb or VRBO) as a permitted use in certain locations in Tecumseh. Specifically, STRAs are proposed to be permitted on Residential and Mixed-Use lots generally within 400 metres (reasonable walking distance) of the Tecumseh Main Street and Tecumseh/Manning areas, as shown on Schedule D of the Draft Zoning By-law.</p> <p>The existing Zoning By-laws do not regulate STRAs. The Town’s Tourism Marketing Strategy & Destination Development Plan (adopted June 2025) recommended that Council update its Zoning By-laws to permit STRAs in appropriate Residential and Mixed-Use zones. The rationale for this recommendation is that having a broad inventory of places for individuals to stay at various price points means potential visitors to the area can stay in the Town.</p> <p>At its November 25, 2025 meeting, Council provided direction to the Project Team (DS-2025-27) to develop zoning regulations that permit STRAs in certain locations and establish locational criteria, such as being within 400 metres of significant commercial corridors (such as the Tecumseh Main Street Community Improvement Area and Tecumseh/Manning Commercial District).</p> <p>Recommended Direction</p> <p>Following Council’s adoption of the new Zoning By-law which enables STRAs, it is recommended that a municipal licensing framework be developed by Council to address specific concerns and protect Tecumseh’s long-term supply of housing.</p>
<p>Residential Zones – Permitted Dwellings</p>	<p>Questions and concerns were expressed about the types of dwellings permitted in Residential zones, particular the Residential 1 (R1) zone that applies to most neighbourhoods across the Town. The Draft Zoning By-law proposed updates to the permitted dwelling types in the Residential zones to implement Provincial, County, and Town policies. Specifically, the R1 zone proposed to permit detached dwellings, semi-detached dwellings, and duplex dwellings as-of-right.</p> <p>The Draft Zoning By-law also carried forward existing permissions for Additional Residential Units (ARUs) to align with Provincial legislation, which permits up to two ARUs on a lot (for a total of three units).</p> <p>The Town of Tecumseh Official Plan (2021) enables all forms of housing in the Residential designation (Policy 4.2.2.i) and further clarifies that low density residential land uses include single detached dwellings, semi-detached dwellings, and duplexes (Policy 4.2.2.1).</p> <p>Recommended Direction</p> <p>No changes are proposed to the types of dwellings permitted in the R1 zone. Permissions for detached, semi-detached, and duplex dwellings are:</p> <ul style="list-style-type: none"> • Enabled by the Town of Tecumseh Official Plan and supported by Provincial and County policies

Comment Theme	Project Team Response
	<ul style="list-style-type: none"> Supported by appropriate lot and building requirements that require tailored minimum lot frontage, minimum lot area, and minimum lot coverage requirements for each type of dwelling
Residential Zones – Lot Area and Frontage Requirements	<p>The Draft Zoning By-law proposed updates to the minimum lot area and minimum lot frontage requirements to align with the range of proposed dwellings permitted in each zone. Specifically, the R1 zone proposes to permit the following minimum lot frontages and lot areas:</p> <ul style="list-style-type: none"> Detached Dwellings: 15.0 m lot frontage, 450.0 m² lot area Semi-Detached Dwellings: 9.0 m lot frontage, 225.0 m² lot area Duplex Dwellings: 15.0 m lot frontage, 500.0 m² lot area <p>These regulations support the policy direction of the Residential designation in the Official Plan which encourages a mix and range of housing types and residential intensification.</p> <p>The minimum lot area and lot frontage requirements proposed for the R1 zone generally align with peer municipalities in Essex County. The following summarizes the regulations in place in these communities:</p> <ul style="list-style-type: none"> Municipality of Lakeshore <ul style="list-style-type: none"> Detached Dwellings: 15.0 m lot frontage, 500.0 m² lot area Semi-Detached Dwellings: 9.0 m lot frontage, 270.0 m² lot area Duplex Dwellings: 18.0 m lot frontage, 550.0 m² lot area Town of LaSalle <ul style="list-style-type: none"> Detached Dwellings: 15.0 m lot frontage, 460.0 m² lot area Semi-Detached Dwellings: 9.0 m lot frontage, 280.0 m² lot area Duplex Dwellings: 18.0 m lot frontage, 460.0 m² lot area <p>Further, the Province of Ontario is currently seeking input on the <i>Building Homes and Improving Transportation Infrastructure Act, 2026 (Bill 98)</i>, which in part proposes to set a minimum lot size of 175 square metres (approximately 1900 square feet) on parcels of urban residential land within settlement areas. If enacted, the proposed minimum lot area would supersede any municipal zoning requirement for minimum lot frontage and/or minimum depth that would not allow for the minimum lot size standard to be met.</p> <p>Recommended Direction</p> <p>No changes are proposed to the minimum lot area or minimum lot frontage requirements in Residential zones in the Zoning By-law.</p>

Comment Theme	Project Team Response
<p>Lake St. Clair Sightline Suffix</p>	<p>A question was raised about why the proposed Lake St. Clair Sightline Suffix did not apply to accessory structures.</p> <p>The Draft Zoning By-law establishes a new Lake St. Clair suffix zone, which applies additional regulations to properties on the north side of Riverside Drive to help protect for sightlines along the Lake. Where the regulations apply, a (LS) code is shown beside the zone symbol on the mapping.</p> <p>The proposed regulations limit development beyond the established building line and provide for some added flexibility for development in the front yard, recognizing possible constraints to development in the rear yard.</p> <p>The proposed regulations also allow for accessory buildings and structures, up to 2.5 metres in height and 15.0 square metres in floor area, to be in the rear yard subject to added setbacks. The intent of this policy is to allow for small structures like garden sheds to be in the rear yard. Further, structures under 15.0 square metres do not require a Building Permit under the Building Code. This is consistent with the current in-effect Tecumseh Zoning By-law permissions.</p> <p>Recommended Direction</p> <p>No changes are proposed to the Lake St. Clair Sightline Suffix regulations as proposed.</p>
<p>Cannabis Uses</p>	<p>Questions and comments were raised about how and why the Draft Zoning By-law regulated cannabis-related uses.</p> <p>The Draft Zoning By-law sets out regulations for two different types of cannabis processing facilities – (1) industrial cannabis processing facilities (i.e., packaging, processing, testing, etc.) and (2) cannabis greenhouses (i.e., growing). An industrial cannabis processing facility is a permitted use in both the Business Park and Business Corridor zones. A cannabis greenhouse is not a permitted use and would require a site-specific zoning by-law amendment to allow for the establishment of the operation.</p> <p>The Town of Tecumseh Official Plan enables cannabis greenhouse operations subject to a zoning by-law amendment within the Agricultural designation (Policy 4.1.2.v). Within the Business Park designation, the Official Plan permits the processing, packaging, and shipping of cannabis projects (excluding growing) as-of-right (Policy 4.5.2.iv).</p> <p>Recommended Direction</p> <p>No changes are proposed to permissions related to cannabis uses as they conform to and implement the policies of the Town’s Official Plan.</p>

Site-Specific Comments

The following provides a summary of site-specific comments received at and following the Public Open House (February 26, 2026) and Statutory Public Meeting (March 24, 2026) and responses from the Project Team.

Comment Summary	Comment Originator	Project Team Response
Request that the Town revises the Draft Zoning By-law to an R1 zone from the current proposed R2 zone for lands along Chene Street	Chene Street Residents Petition	Comment addressed. Following further review, the Project Team is proposing that existing developed properties on Chene Street be changed to R1 zoning in the Zoning By-law. The vacant property located at 117 Chene Street and the property currently subject to proceedings at the Ontario Land Tribunal (OLT) located at 137 Chene Street are proposed to retain the R2 zoning.
Request to increase height permissions on lands zoned (H)CG-11 in the Tecumseh Hamlet Secondary Plan area	Tecumseh Hamlet Secondary Plan Landowner	Comment acknowledged. A meeting was held with the property Owner, their representative, and Town staff regarding the lands. It was identified that a request for an increase in height for this area would be premature at this time and would be considered in the future once municipal servicing is available for these lands.
Site-Specific Comments <ul style="list-style-type: none"> • 13135-13043 County Road 42 – request to permit 50% lot coverage • 1360 Highway 3 – request to rezone from current site-specific M1 to (H)BP • 11664 County Road 42 – request to permit medical offices • 11700 County Road 42 – request to permit commercial recreational establishment to recognize existing use 	Various	Comments to be reviewed through Draft 2 Zoning By-law maps and text.

Attachment 2, DS-2026-10 RV Zoning Regulation Options

Recreational Vehicle Zoning Options

Town of Tecumseh Zoning By-law Project

The following document outlines two potential zoning approaches to regulate recreational vehicle and trailer parking in Residential zones. It also includes the current proposed regulations as presented in the Draft 1 Zoning By-law for reference purposes.

Current Proposed Regulations (Draft 1 Zoning By-law)

For Reference Only

4.7 Parking of Recreational Vehicles and Trailers in Residential Zones

The following provisions shall apply to the parking or storage of recreational vehicles and trailers in any Residential zone:

- 1) Notwithstanding the provisions of this Section, any recreational vehicle or trailer is permitted to be stored in a fully enclosed private garage or accessory building as accessory to a dwelling.
- 2) Recreational vehicles or trailers are permitted to be parked or stored on a lot including any driveway, provided:
 - a) The recreational vehicle or trailer is parked or stored in the front yard, interior side yard, or rear yard;
 - b) The recreational vehicle or trailer does not exceed 7.0 m in length, inclusive of any hitch or tongue;
 - c) The recreational vehicle or trailer does not exceed 3.0 m in height; and
 - d) The recreational vehicle or trailer is no closer than 0.6 m from any lot line.
- 3) Notwithstanding the provisions of this Section, one recreational vehicle or trailer that exceeds 7.0 m in length is permitted to be parked or stored on a lot including any driveway, provided:
 - a) The recreational vehicle or trailer is parked or stored in the front yard, interior side yard or rear yard;
 - b) The total lot coverage for all recreational vehicles and trailers on the lot (excluding any recreational vehicles and trailers stored in a fully enclosed building) does not exceed 10%; and
 - c) The recreational vehicle or trailer is not located within the minimum front yard, interior side yard, or rear yard setback of the applicable zone.
- 4) The parking of a recreational vehicle or trailer on any vacant lot shall be prohibited.
- 5) The parking or storage of any recreational vehicle or trailer shall not result in a deficiency in meeting the required minimum number of parking spaces in accordance with this By-law.

Where a recreational vehicle or equipment is kept on a trailer, the recreational vehicle and trailer together is counted as one recreational vehicle.

Where a legally existing recreational vehicle or trailer does not meet the requirements of this By-law, it is permitted to be parked and stored on a lot, subject to the legal non-conforming requirements of this By-law.

Attachment 2, DS-2026-10

RV Zoning Regulation Options

Option 1 – Regulate by length and height

This option relies on RV and trailer dimensions to guide the viability of a lot to accommodate parking or storage. It does not include a front yard requirement.

4.7 Parking of Recreational Vehicles and Trailers in Residential Zones

The following provisions shall apply to the parking or storage of recreational vehicles and trailers in any Residential zone:

- 1) Notwithstanding the provisions of this Section, any recreational vehicle or trailer is permitted to be stored in a fully enclosed private garage or accessory building as accessory to a dwelling.
- 2) The parking of a recreational vehicle or trailer on any vacant lot shall be prohibited.
- 3) The parking or storage of any recreational vehicle or trailer shall not result in a deficiency in meeting the required minimum number of parking spaces in accordance with this By-law.
- 4) One recreational vehicle or trailer shall be permitted to be parked or stored on a driveway located within the front yard, provided:
 - a) The maximum height of a recreational vehicle or trailer shall be 4.5 m.
 - b) The maximum length of a recreational vehicle or trailer shall be 10.0 m, exclusive of any hitch or tongue.
 - c) The minimum setback of a recreational vehicle or trailer to the interior side or exterior side lot lines shall be 0.6 m.
- 5) Notwithstanding the provisions of Section 4.7.4), the provisions of subsection b) shall not apply to a recreational vehicle or trailer temporarily parked on a driveway located within the front yard for a period of 15 days in a calendar year provided the minimum setback of the recreational vehicle or trailer to the paved surface of the roadway or sidewalk or multi-use trail is 1.0 m.
- 6) Notwithstanding the provisions of this Section, recreational vehicles or trailers shall be permitted to be parked or stored in the interior side yard and rear yard, provided:
 - a) The maximum height of a recreational vehicle or trailer shall be 4.5 m.
 - b) The total lot coverage for all recreational vehicles and trailers on the lot (excluding any recreational vehicles and trailers stored in a fully enclosed building) does not exceed 10%; and
 - c) The recreational vehicle or trailer is not located within 0.6 metres of any side or rear lot line.

Where a recreational vehicle or equipment is kept on a trailer, the recreational vehicle and trailer together is counted as one recreational vehicle.

Where a legally existing recreational vehicle or trailer does not meet the requirements of this By-law, it is permitted to be parked and stored on a lot, subject to the legal non-conforming requirements of this By-law.

Attachment 2, DS-2026-10 RV Zoning Regulation Options

Option 2 – Regulate by distance from curb/sidewalk

This option relies on setback requirements to guide the size of RV or trailer that can be parked. It includes a front lot line setback requirement.

4.7 Parking of Recreational Vehicles and Trailers in Residential Zones

The following provisions shall apply to the parking or storage of recreational vehicles and trailers in any Residential zone:

- 1) Notwithstanding the provisions of this Section, any recreational vehicle or trailer is permitted to be stored in a fully enclosed private garage or accessory building as accessory to a dwelling.
- 2) The parking of a recreational vehicle or trailer on any vacant lot shall be prohibited.
- 3) The parking or storage of any recreational vehicle or trailer shall not result in a deficiency in meeting the required minimum number of parking spaces in accordance with this By-law.
- 4) One recreational vehicle or trailer shall be permitted to be parked or stored on a driveway located within the front yard, provided:
 - a) The maximum height of a recreational vehicle or trailer shall be 4.5 m.
 - b) The minimum setback of a recreational vehicle or trailer to the paved surface of the roadway shall be 4.5 m.
 - c) The minimum setback of a recreational vehicle or trailer to a sidewalk or multi-use trail shall be 1.0 m.
 - d) The minimum setback of a recreational vehicle or trailer to the interior side or exterior side lot lines shall be 0.6 m.
- 5) Notwithstanding the provisions of Section 4.7.4), the provisions of subsection b) shall not apply to a recreational vehicle or trailer temporarily parked on a driveway located within the front yard for a period of 15 days in a calendar year.
- 6) Notwithstanding the provisions of this Section, recreational vehicles or trailers shall be permitted to be parked or stored in the interior side yard and rear yard, provided:
 - a) The maximum height of a recreational vehicle or trailer shall be 4.5 m.
 - b) The total lot coverage for all recreational vehicles and trailers on the lot (excluding any recreational vehicles and trailers stored in a fully enclosed building) does not exceed 10%; and
 - c) The recreational vehicle or trailer is not located within 0.6 metres of any side or rear lot line.

Where a recreational vehicle or equipment is kept on a trailer, the recreational vehicle and trailer together is counted as one recreational vehicle.

Where a legally existing recreational vehicle or trailer does not meet the requirements of this By-law, it is permitted to be parked and stored on a lot, subject to the legal non-conforming regulations of this By-law.



Town of Tecumseh

New Zoning By-law

Council Update

April 28, 2026



Overview

- 1. Overview of Comment-Response Matrix**
- 2. Overview of Recreational Vehicle and Trailer Parking Regulations**
- 3. Next Steps**

Purpose of Meeting

- To provide Council with an update on what we heard from the community on the Draft Zoning By-law
- To seek Council direction on a revised approach to recreational vehicle and trailer parking rules
- To seek Council direction on scheduling a second public meeting

Overview of Comment-Response Matrix

Overview of Recreational Vehicle and Trailer Parking Regulations

Current Proposed Framework

(Draft 1 Zoning By-law)

- Permits an RV or trailer, up to 7.0 m in length and 3.0 m in height on a driveway
- RV or trailer required to be 0.6 m from any lot line
- An RV or trailer that exceeds those dimensions is permitted on a lot (including the driveway) provided it meets the yard setbacks and 10% lot coverage requirement

What We Heard

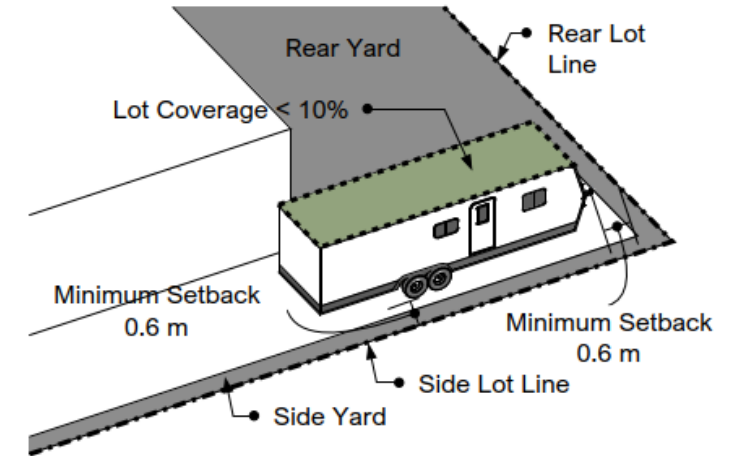
- The maximum RV and trailer **dimensions** were too constraining and do not reflect the full range of RVs and trailers in the Town
- The **minimum setback** requirement for oversized RVs and trailers was too restrictive for most lots
- **Support** for regulating RV and trailer parking to address pedestrian and road safety in neighbourhoods (e.g., sightlines)
- Clarity required for **existing** RVs and trailers that do not meet the new proposed requirements
- Opportunity to permit **seasonal parking** of RVs and trailers

Option 2

Regulate by distance from curb/sidewalk

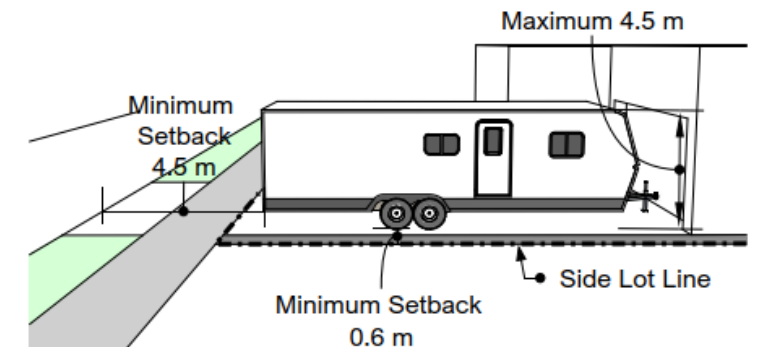
RV or Trailer Parked on a Driveway

- Minimum setback to all lot lines: 0.6 m
- One RV or trailer permitted on the driveway
- Minimum Setback of RV or Trailer to:
 - **Paved Surface of Roadway:** 4.5 m
 - **Sidewalk or Multi-Use Trail:** 1.0 m
- Maximum Height of RV or Trailer: 4.5 m
- Oversized RVs or trailers permitted on a temporary basis (15 days per year)



RV or Trailer Parked on a Lot

- Permitted in the interior side and rear yards no closer than 0.6 metres from lot lines
- Maximum Height of RV or Trailer: 4.5 m
- Maximum Lot Coverage of RVs or Trailers: 10% lot coverage

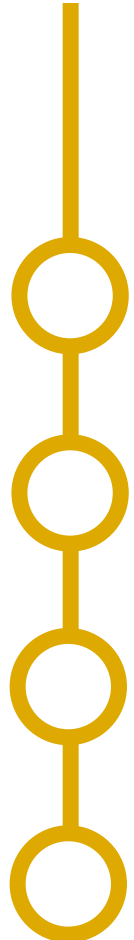


Comparison of Options

Zoning Requirement	Option 1 Regulate by length and height	Option 2 Regulate by distance from curb/sidewalk
Minimum Lot Line Setbacks	0.6 m (No Change from Draft 1)	0.6 m (No Change from Draft 1)
Maximum RV or Trailer Height	4.5 m (+1.5 m from Draft 1)	4.5 m (+1.5 m from Draft 1)
Maximum RV or Trailer Length	10.0 m (+3.0 m from Draft 1)	-
Minimum Setback from Paved Roadway	-	4.5 m (New from Draft 1)
Minimum Setback from Sidewalk or MUT	-	1.0 m (New from Draft 1)
Temporary Parking of Oversized RV or Trailer Allowed?	Yes (New from Draft 1)	Yes (New from Draft 1)

Next Steps

What's coming up?

- 
- Revised Draft Zoning By-law**
Early May 2026
 - Second Public Meeting**
May 28, 2026 (Pending Council Confirmation)
 - Final Zoning By-law**
June 2026
 - Council Adoption of Final Zoning By-law**
June 2026

Thank you!